



**SITE INSTRUCTION**

**SI – 20**

**To:**

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**From:** **Howard Tuchman** KIRKOR | Architects + Planners

**Date:** **February 13, 2018**

**Project:** **Aquavista – (Bayside Block 3 R3 & R4, Merchants Wharf)**  
 1 Edgewater Drive, Toronto  
 (Formerly referenced as 263 Queens Quay East)

**Building Permit:** **15 176396 BLD 00 NB**

**Project No.:** **13-148**

*Site instructions are issued only for the purpose of recording any clarification or interpretation of the contract documents or giving direction on problems resulting from field conditions. These instructions are subject to the provisions of the contract documents and unless stated herein and specifically co-authorized by the Client, will not affect the contract. Should the Contractor require a change in the contract price or project schedule, he/she shall submit to the "Client" within ten (10) days of the date hereof, an itemized proposal. If the proposal is accepted by the Client, this site instruction will be superseded by a Change Order issued by the Client.*

<b>No.</b>	<b>Description</b>	<b>Reference Drawings</b>
	<p><i>This site instruction deals with revisions, clarifications and coordination of the following items;</i></p> <ul style="list-style-type: none"> <li>• <i>Revise Fire Route on Site Plan.</i></li> <li>• <i>Relocate a notation for fire department connection on Level 1 Ontario Building Code Compliance Diagram.</i></li> <li>• <i>Revise one locker layout on Level P4.</i></li> <li>• <i>Remove ceiling finishes from locker room P412 on Level P4.</i></li> <li>• <i>Revise parking space layout on Level P3 residential parking garage.</i></li> <li>• <i>Provide block walls to Mechanical room P216 on Level P2.</i></li> <li>• <i>Convert Commercial Electrical room to one condo management parking space on Level 1.</i></li> <li>• <i>Provide sliding door to closet in Catering Kitchen 216 on Level 2.</i></li> <li>• <i>Revise dimensions of exterior brick façade on Level 10.</i></li> </ul>	

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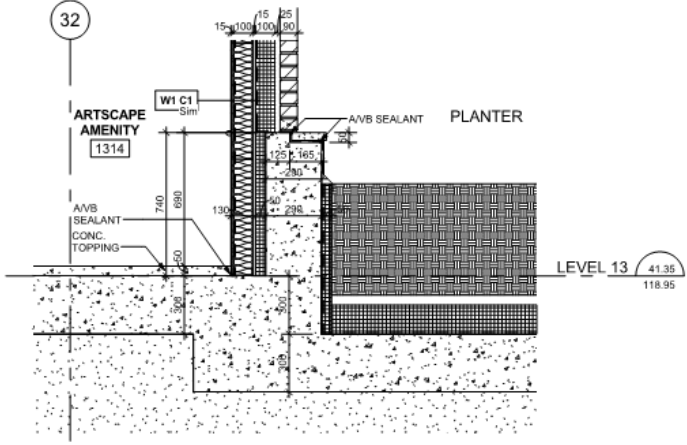
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	<ul style="list-style-type: none"> <li>• <i>Revise details 3/A7-23 and 11/A7-24 in coordination with the as-built condition.</i></li> <li>• <i>Update Room Finish Schedule.</i></li> <li>• <i>Update Door and Frame Schedule</i></li> <li>• <i>Revise concrete curb detail between the outdoor planter and the Artscape Amenity 1314 on Level 13.</i></li> <li>• <i>Revise building specifications.</i></li> </ul>	
<b>.1</b>	Delete the Fire Route along Edgewater Drive at the north side of the building from the Site Plan.	A1-01
<b>.2</b>	Relocate the notation for fire department connection from north side of the building to the west side on the Level 1 Ontario Building Code Compliance Diagram.	A1-07
<b>.3</b>	Extend locker L-D80 in the locker room P417 to the Stair 'B' wall on the Level P4.	A2-01
<b>.4</b>	Remove C1.B ceiling finishes from the locker room P412 adjacent to the East Elevator Lobby on the Level P4.	A2-01A
<b>.5</b>	On Level P3; a) Change parking stall R-P3/29 from a Barrier-free stall to 2 standard stalls. b) Change parking stall R-P3/22 from a standard stall to a barrier-free stall. c) Update residential parking number in the parking garage in coordination with the additional parking space.	A2-02
<b>.6</b>	Provide the P2.B2 block walls along the east and south sides of the Mechanical room P216 on Level P2.	A2-03, A2-03A, A5-01
<b>.7</b>	On Level P1; A) Remove the Commercial Electrical room #1 P131 and add one condo management parking space adjacent to the East Elevator Lobby P130. Reflected ceiling has been revised accordingly. B) Delete doors P131 and P131A from the Door and Frame Schedule – Level P1. C) Delete the Commercial Electrical room #1 P131 from the Room Finish Schedule.	A2-04, A2-04A, A8-04, A8-05
<b>.8</b>	Provide the sliding door 216B to the closet in the Catering Kitchen 216 on the Level 2.	A3-06, A8-05
<b>.9</b>	Revise the dimension of the length of the exterior brick façade of Suite 1018 to 1210mm on the Level 10.	A3-23
<b>.10</b>	The details 3/A7-23 and 11/A7-24 in coordination building envelop consultant has been revised to provide clarification for fire stopping between suites based on the as-built conditions.	A7-23, A7-24
<b>.11</b>	Revise the S1 door height to 2135mm on the Door and Frame Schedule – Typical Suites.	A8-06
<b>.12</b>	The following specifications have been updated in coordination with tendered requirements to provide material clarifications;  04 20 00R1 Unit Masonry 07 21 00R1 Thermal Insulation 07 56 00R2 Fluid Applied Roofing 08 45 00R1 Window Wall Work	Spec Sections 04 20 00 R1 07 21 00 R1 07 56 00 R1 08 45 00 R1

<p><b>.13</b></p>	<p>Level 13; Revise detail 5/ A7-13A, the concrete curb detail has been coordinated with the slab edge drawings between the outdoor planter and the Artscape Amenity 1314 (at the window wall).</p> <p>The detail below has been provided for clarification of the section through the brick wall.</p> 	<p>A7-13A A9-65, A9-66</p>
<p><b>*N.B.*</b></p>	<p>All referenced drawings are available for immediate download from the KIRKOR/Newforma InfoExchange for a period of 30 days.</p> <p>All referenced drawings have been uploaded to the Astley Gilbert DFS for immediate printing / access.</p>	

**End of Site Instruction**