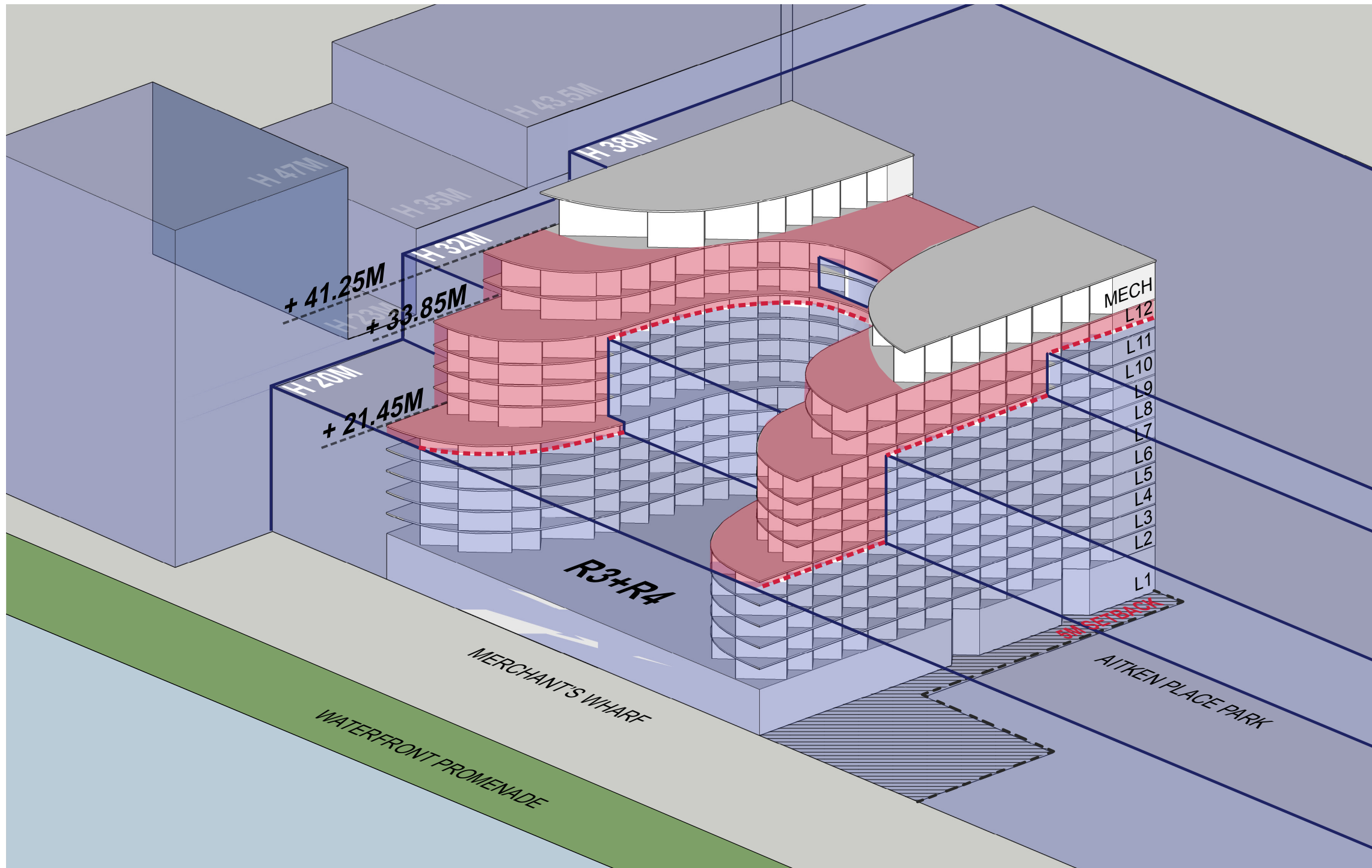


AQUAVISTA
AT BAYSIDE TORONTO

DRP AND WDL PREP
18 FEBRUARY 2015





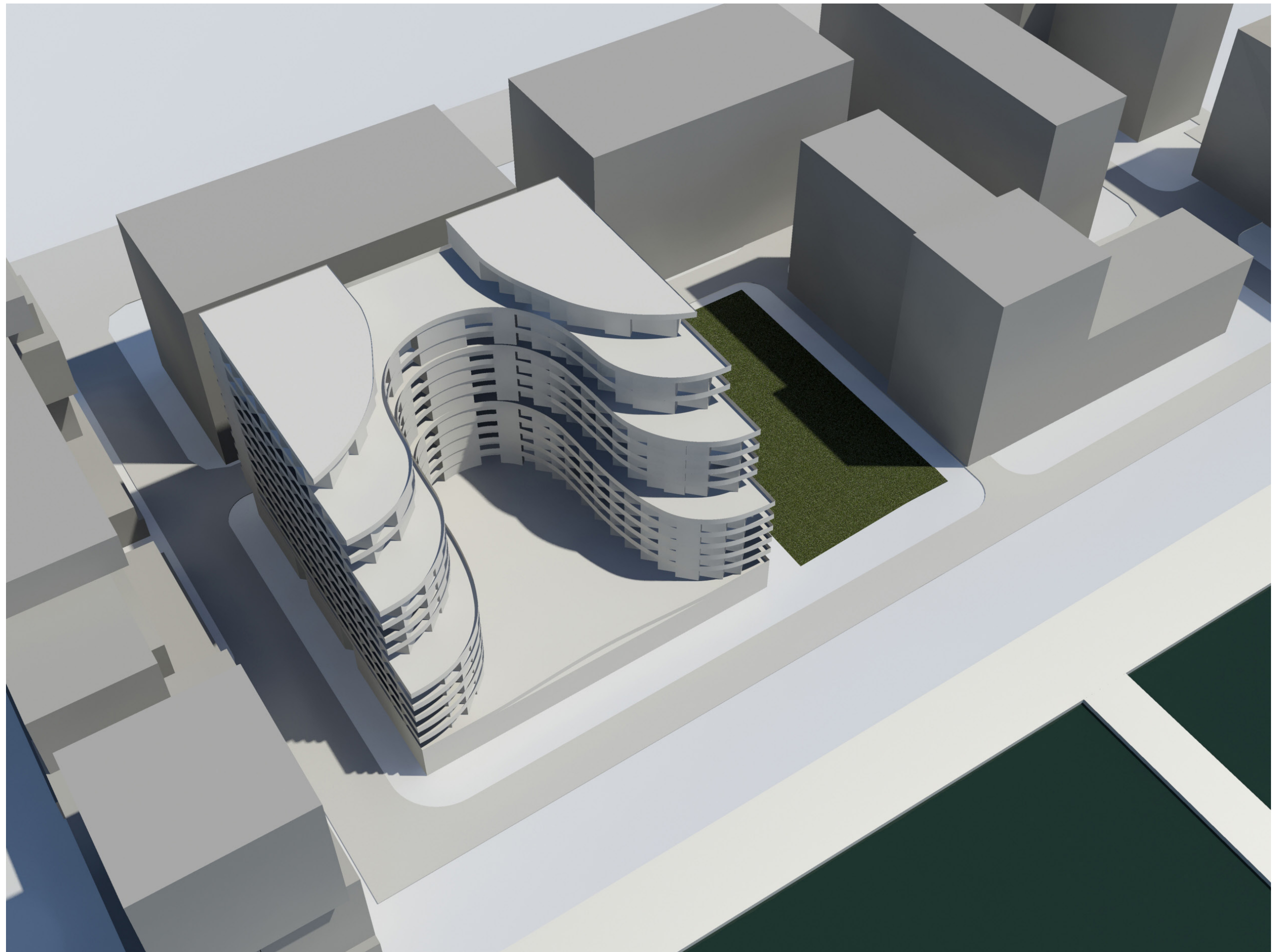


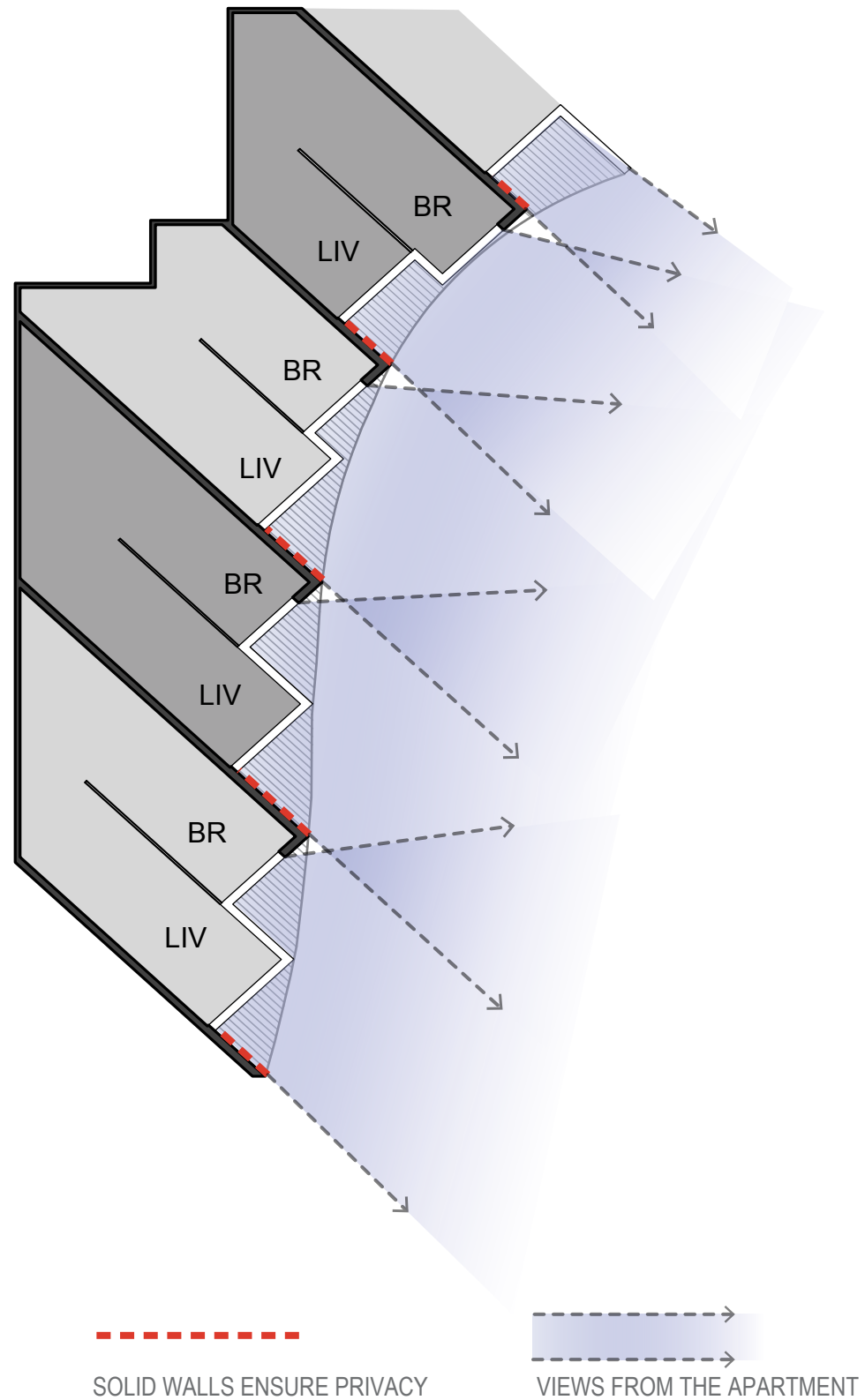
HEIGHT VARIANCES:

- H 38M ZONE = +3.25 M
- H 32M ZONE = +1.85 M / +9.25 M
- H 20M ZONE = +1.45 M / +13.85 M / +21.25 M

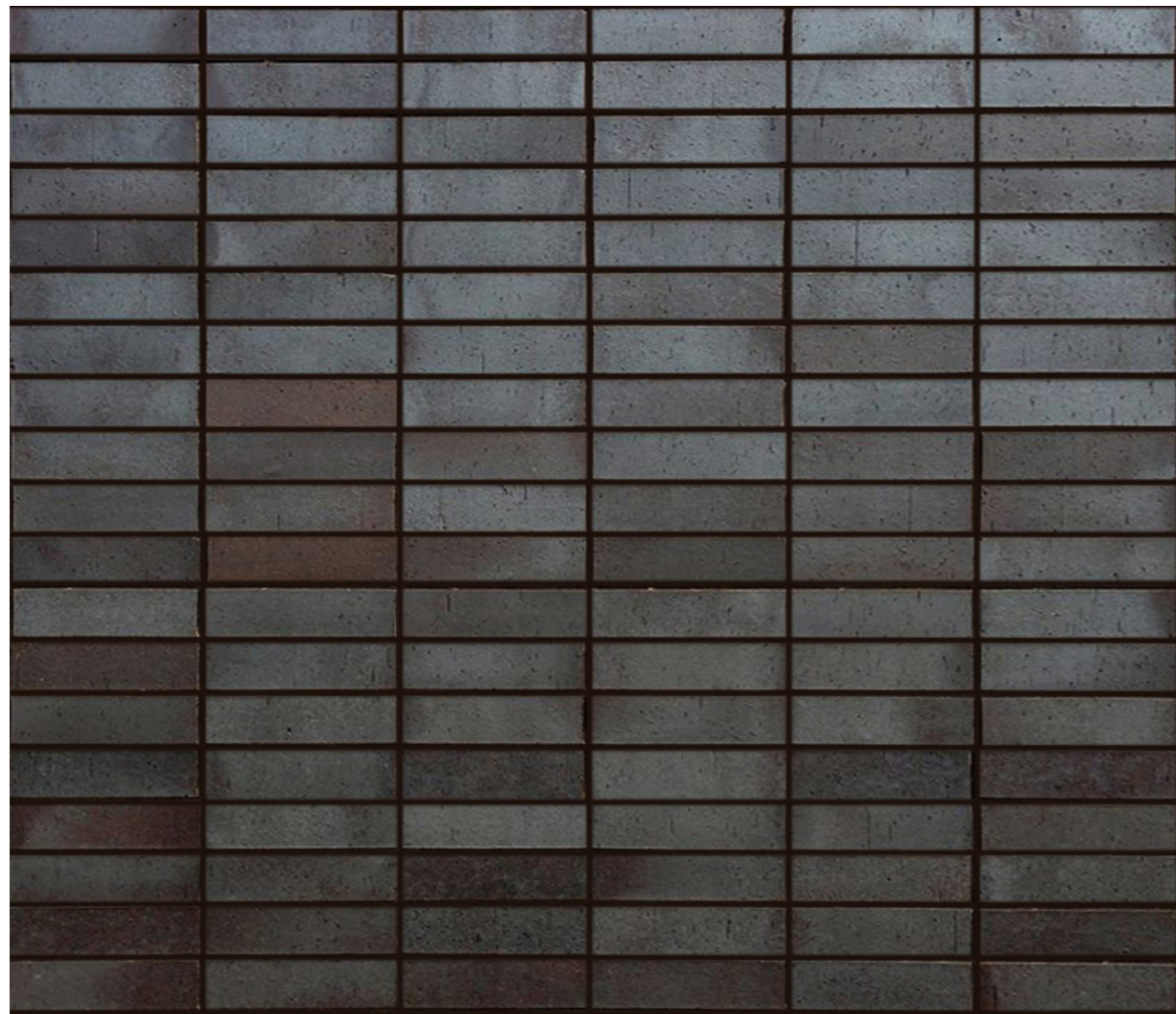
ESTIMATED AREA CALCULATIONS

	AREA (SQ.M / SQ.FT)
TOTAL GFA:	33,989 SM / 365,857 SF
TOTAL SALABLE AREA:	19,054 SM / 205,095 SF



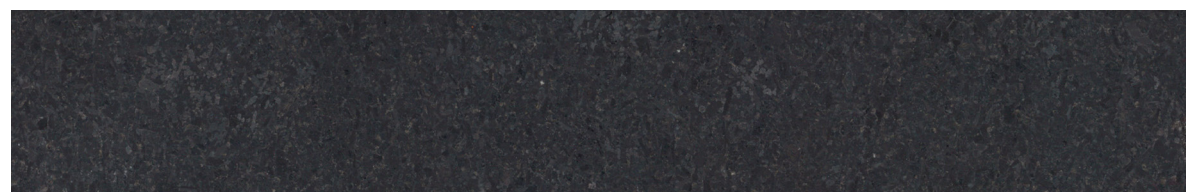




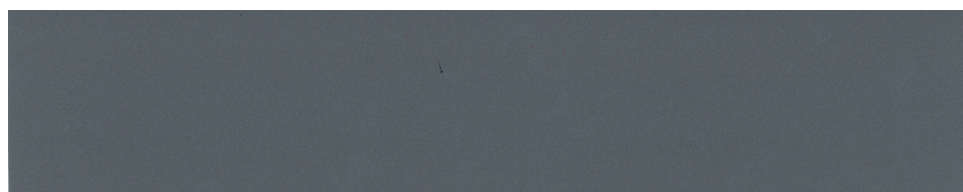


ENDICOTT ARCHITECTURAL FACE BRICK
 COLOR: MANGANESE IRONSPOT
 FINISH: SMOOTH
 SIZE: NORMAN (2 1/4"H X 11 5/8"W X 3 5/8"D)
 PATTERN: STACK BOND
 LOCATION: ALL MASONRY WALLS

LEHIGH CEMENT COMPANY: MORTAR
 COLOR: BDN886
 LOCATION: ALL MASONRY MORTAR JOINTS



NORTH CAROLINA GRANITE CORPORATION
 COLOR: ABSOLUTE BLACK
 FINISH: HONED
 SIZE: AS REQUIRED PER DETAILS
 LOCATION: STOREFRONT BASE



PPG INDUSTRIES, UC70214F
 COLOR: GRAY VELVET
 FINISH: DURANAR XL WITH UC51742 PRIMER
 LOCATION: ALL ALUMINUM MULLIONS, LOUVERS AND RECESSED SLAB COVERS



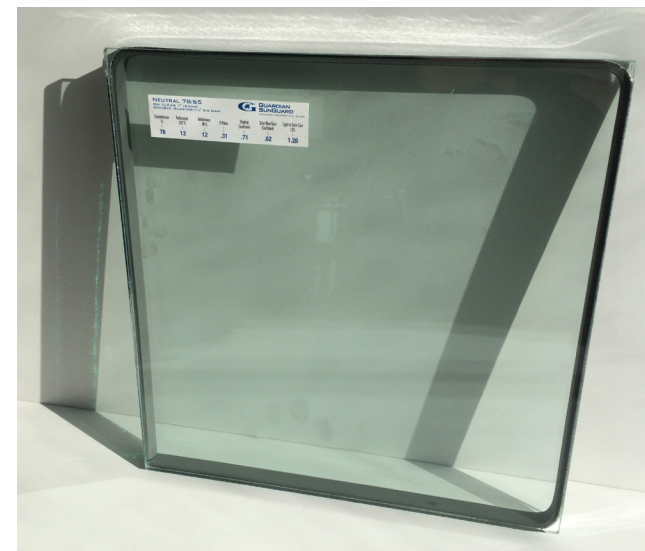
PPG INDUSTRIES, UC106705XL
 COLOR: STEEL-CITY SILVER
 FINISH: DURANAR XL WITH UC51132 CLEAR TOPCOAT
 LOCATION: PRIMARY SLAB COVERS, BALCONY RAILINGS



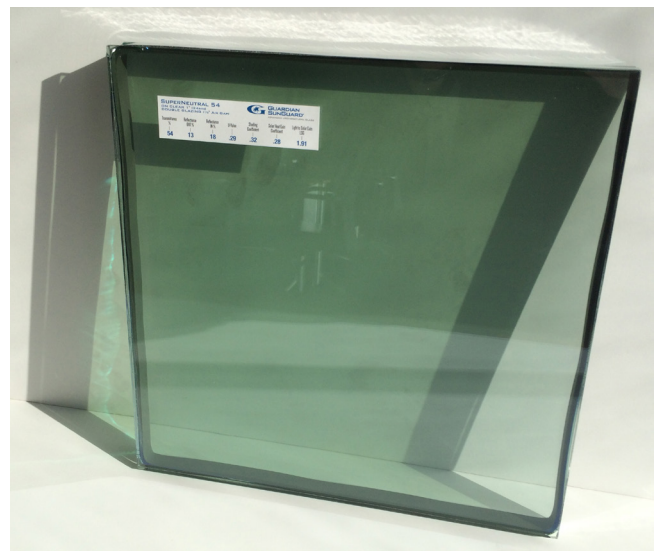
RETAIL SPANDREL GLASS
 1" INSULATED GLAZING UNIT
 GUARDIAN SUNGUARD SN78/65
 WITH GRAY SPANDREL ON THIRD SURFACE



RESIDENTIAL SPANDREL GLASS
 SINGLE PANE GRAY GLASS



RETAIL VISION GLASS
 1" INSULATED GLAZING UNIT
 GUARDIAN SUNGUARD SN78/65



RESIDENTIAL VISION GLASS
 1" INSULATED GLAZING UNIT
 GUARDIAN SUNGUARD SN54



- Roof
46,450
- Level PH2/Mech
41,250
- Level PH1
37,100
- Level 11
33,950
- Level 10
30,800
- Level 9
27,650
- Level 8
24,400
- Level 7
21,450
- Level 6
18,200
- Level 5
15,250
- Level 4
12,300
- Level 3
9,350
- Level 2
6,400
- Level 1M
3,200
- Level 1 (+77.60)
0



- Roof
46.450
- Level PH2/Mech
41.250
- Level PH1
37.100
- Level 11
33.850
- Level 10
30.600
- Level 9
27.350
- Level 8
24.100
- Level 7
20.850
- Level 6
17.600
- Level 5
14.350
- Level 4
11.100
- Level 3
7.850
- Level 2
4.600
- Level 1M
1.350
- Level 1 (+77.60)
0



- Roof
46.450
- Level PH2/Mech
41.250
- Level PH1
37.100
- Level 11
33.850
- Level 10
30.600
- Level 9
27.350
- Level 8
24.100
- Level 7
20.850
- Level 6
17.600
- Level 5
14.350
- Level 4
11.100
- Level 3
7.850
- Level 2
4.600
- Level 1M
3.200
- Level 1 (+77.60)
0



- Roof
46.150
- Level PH2/Mech
41.250
- Level PH1
37.100
- Level 11
33.850
- Level 10
30.600
- Level 9
27.350
- Level 8
24.100
- Level 7
21.150
- Level 6
18.200
- Level 5
15.250
- Level 4
12.300
- Level 3
9.350
- Level 2
6.400
- Level 1M
3.200
- Level 1 (+77.60)
0



- Roof
46.150
- Level PH2/Mech
41.250
- Level PH1
37.100
- Level 11
33.850
- Level 10
30.600
- Level 9
27.350
- Level 8
24.100
- Level 7
20.850
- Level 6
17.600
- Level 5
14.350
- Level 4
11.100
- Level 3
7.850
- Level 2
4.600
- Level 1M
1.350
- Level 1 (+77.60)
0



Roof
48.450

Level PH2/Mech
41.250

Level PH1
37.100

Level 11
33.850

Level 10
30.600

Level 9
27.350

Level 8
24.100

Level 7
21.450

Level 6
18.200

Level 5
15.250

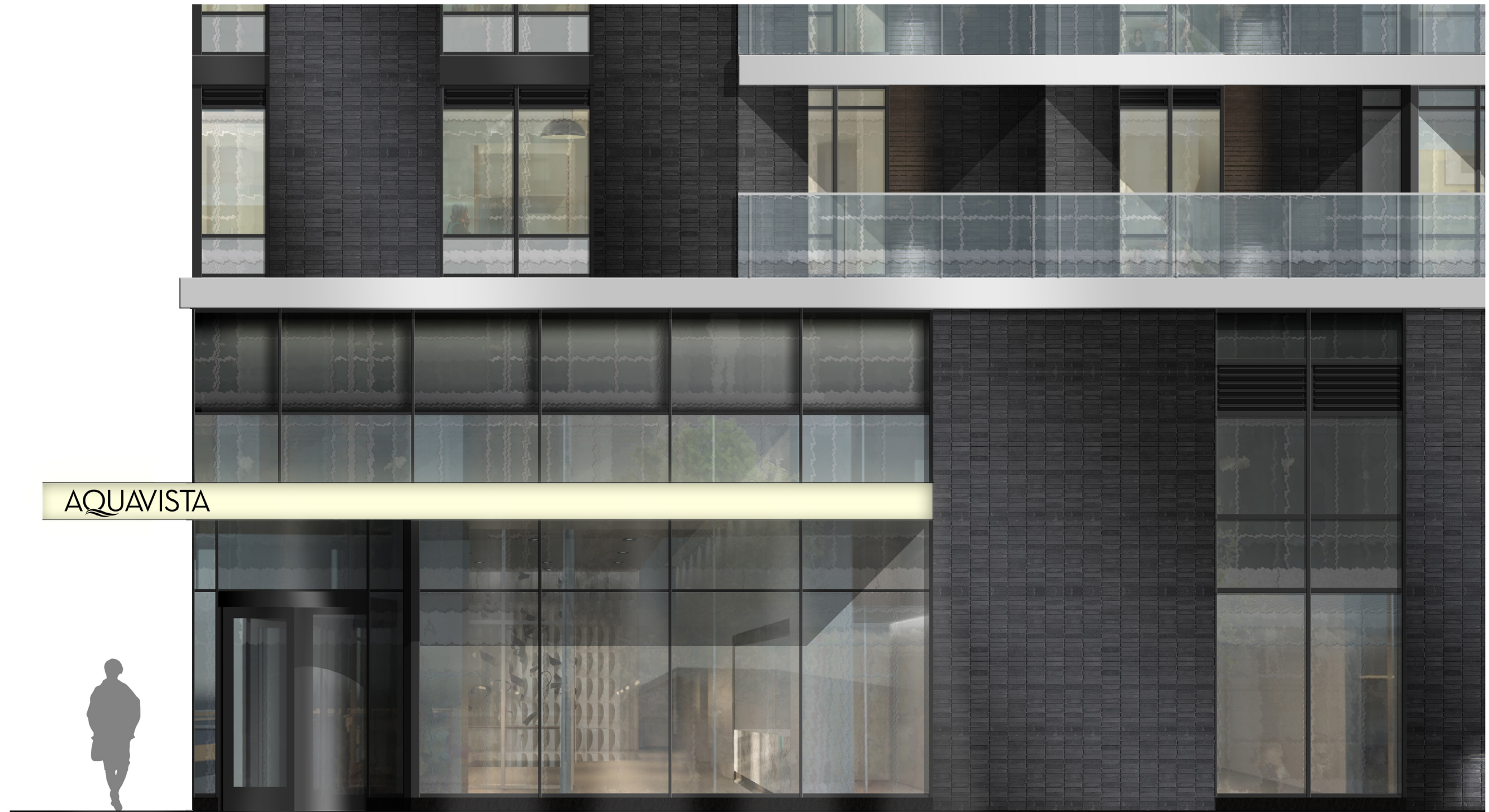
Level 4
12.300

Level 3
9.350

Level 2
6.400

Level 1M
3.200

Level 1 (+77.60)
0



AQUAVISTA



AQUAVISTA

ARTSPACE

farm fresh

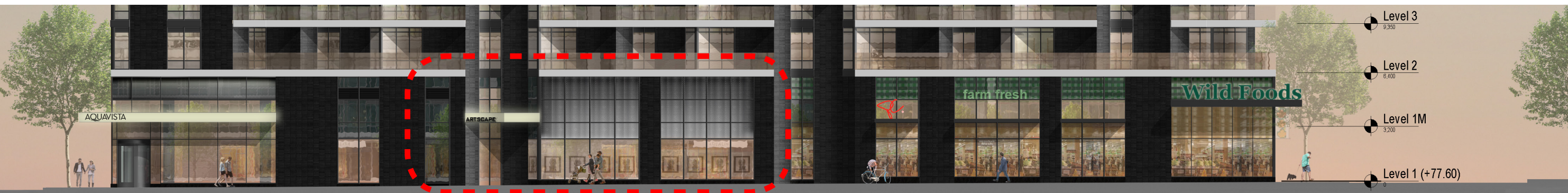
Wild Foods

Level 3
9.350

Level 2
6.400

Level 1M
3.200

Level 1 (+77.60)





Wild Foods

farm fresh

market fresh



Wild Foods

farm fresh

Cooking School

Photo Lab

Mobile

Insurance/Financial

Level 3
3.35

Level 2
3.20

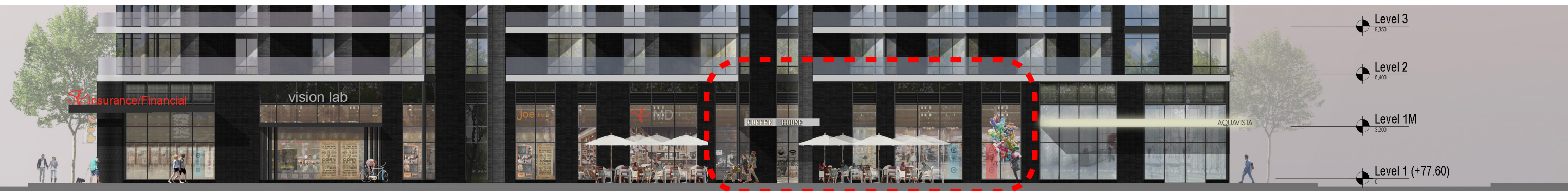
Level 1M
3.20

Level 1 (+77.60)

Wild Foods

farm fresh





Level 3
9.350

Level 2
8.400

Level 1M
3.200

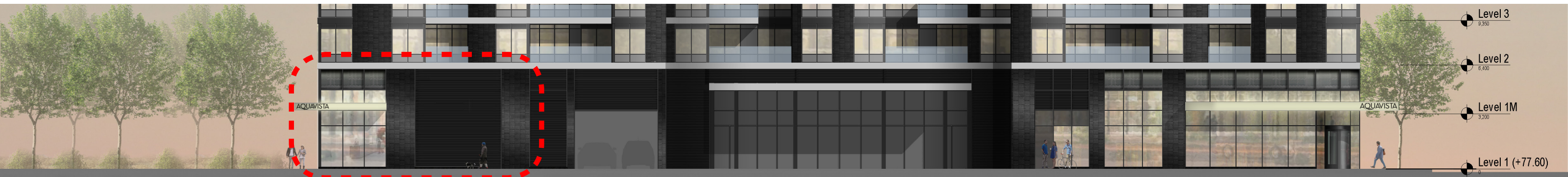
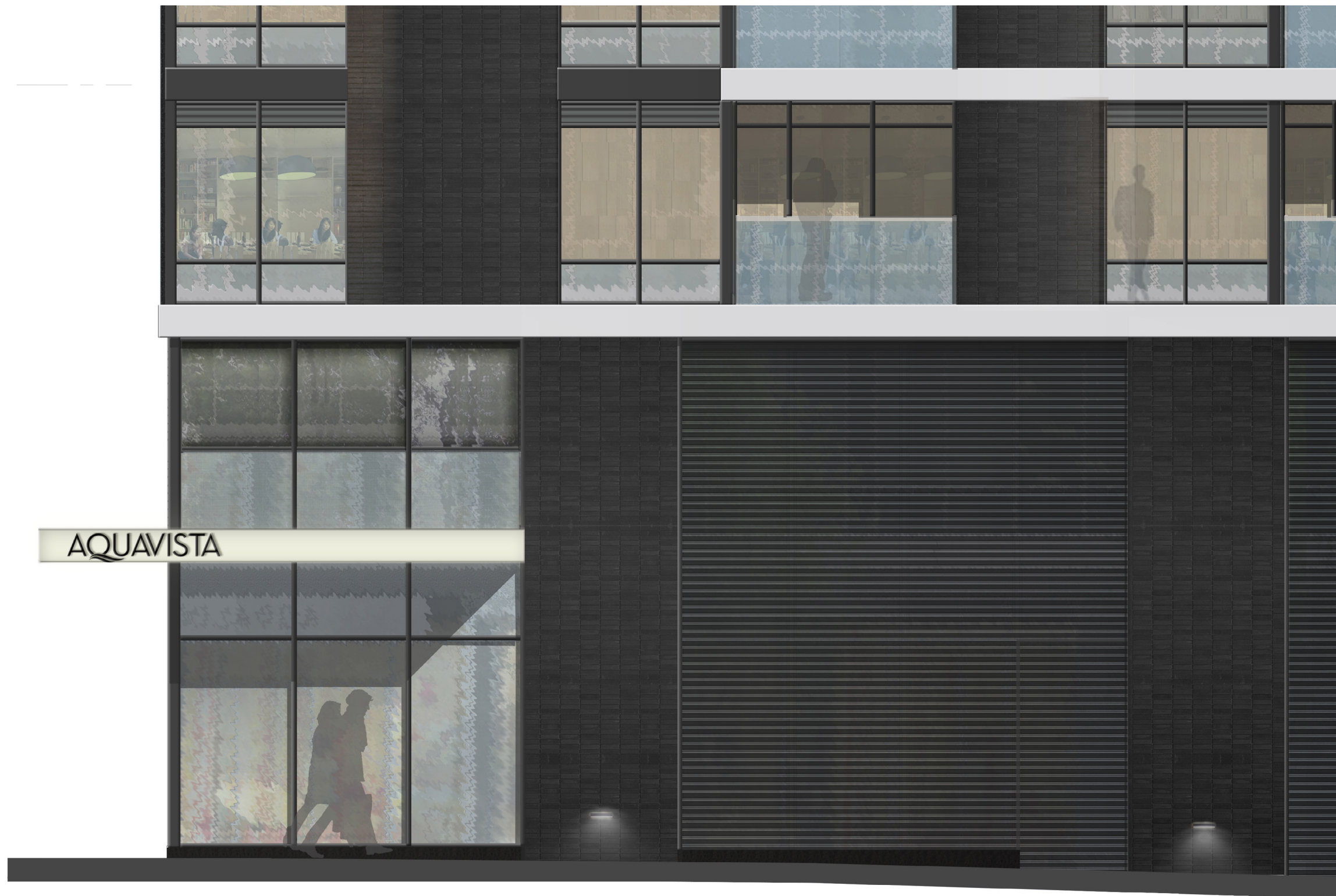
Level 1 (+77.60)
0

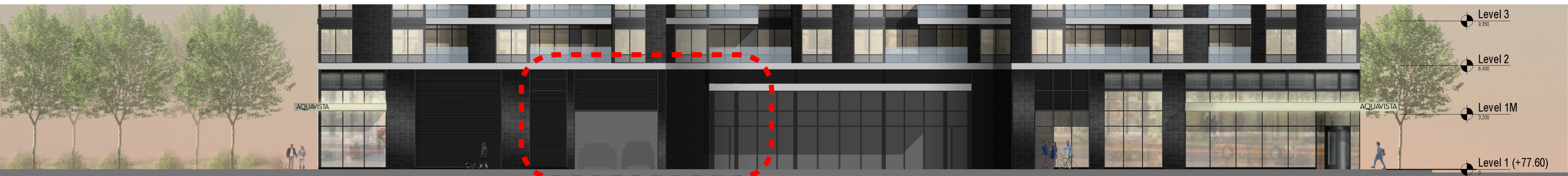


AQUAVISTA



- Level 3
9,950
- Level 2
8,400
- Level 1M
3,200
- Level 1 (+77.60)
0







Level 3
9,350

Level 2
8,400

Level 1M
3,200

Level 1 (+77.60)



















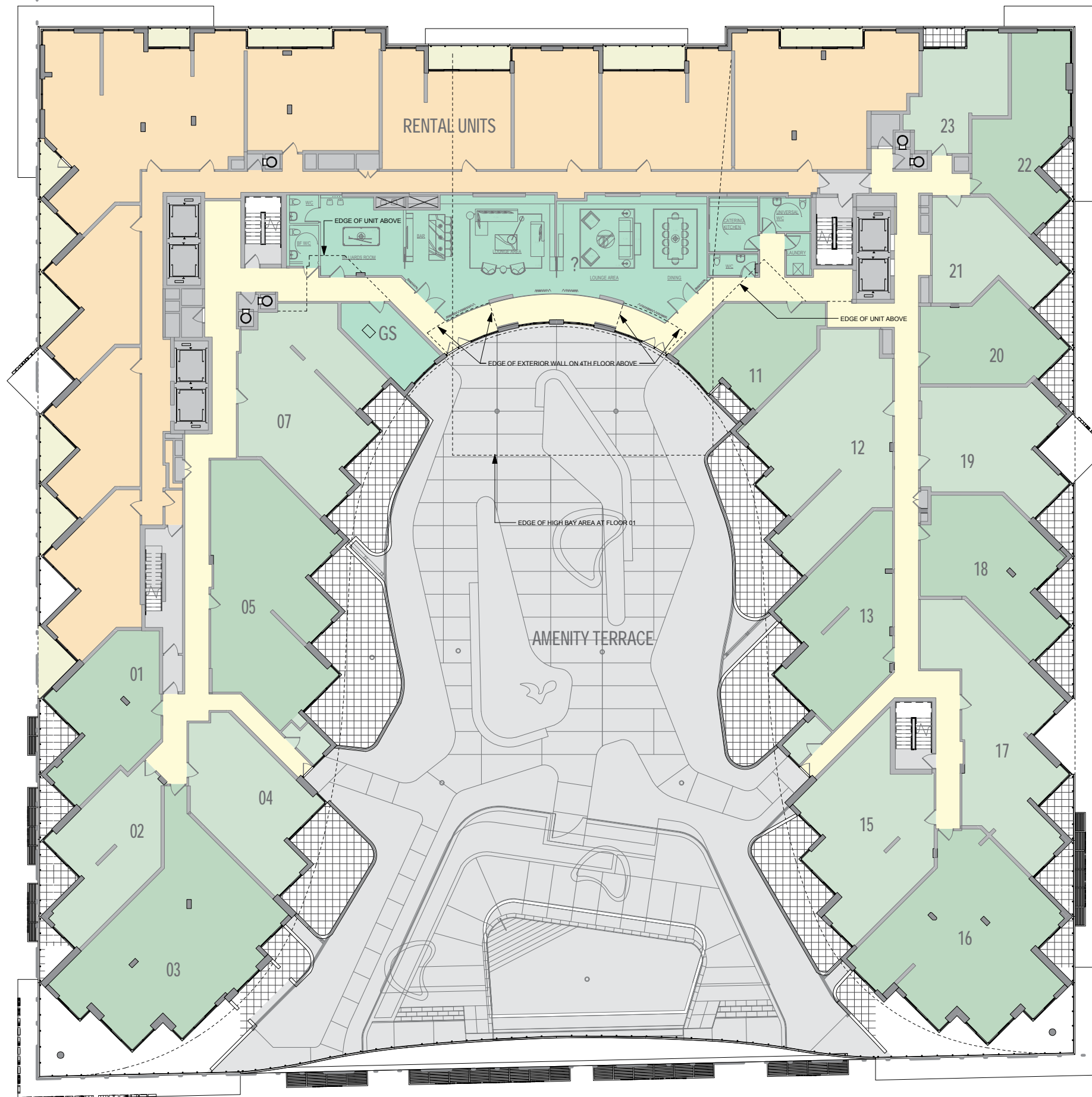


LANDSCAPE PRESENTATION?

STREET A

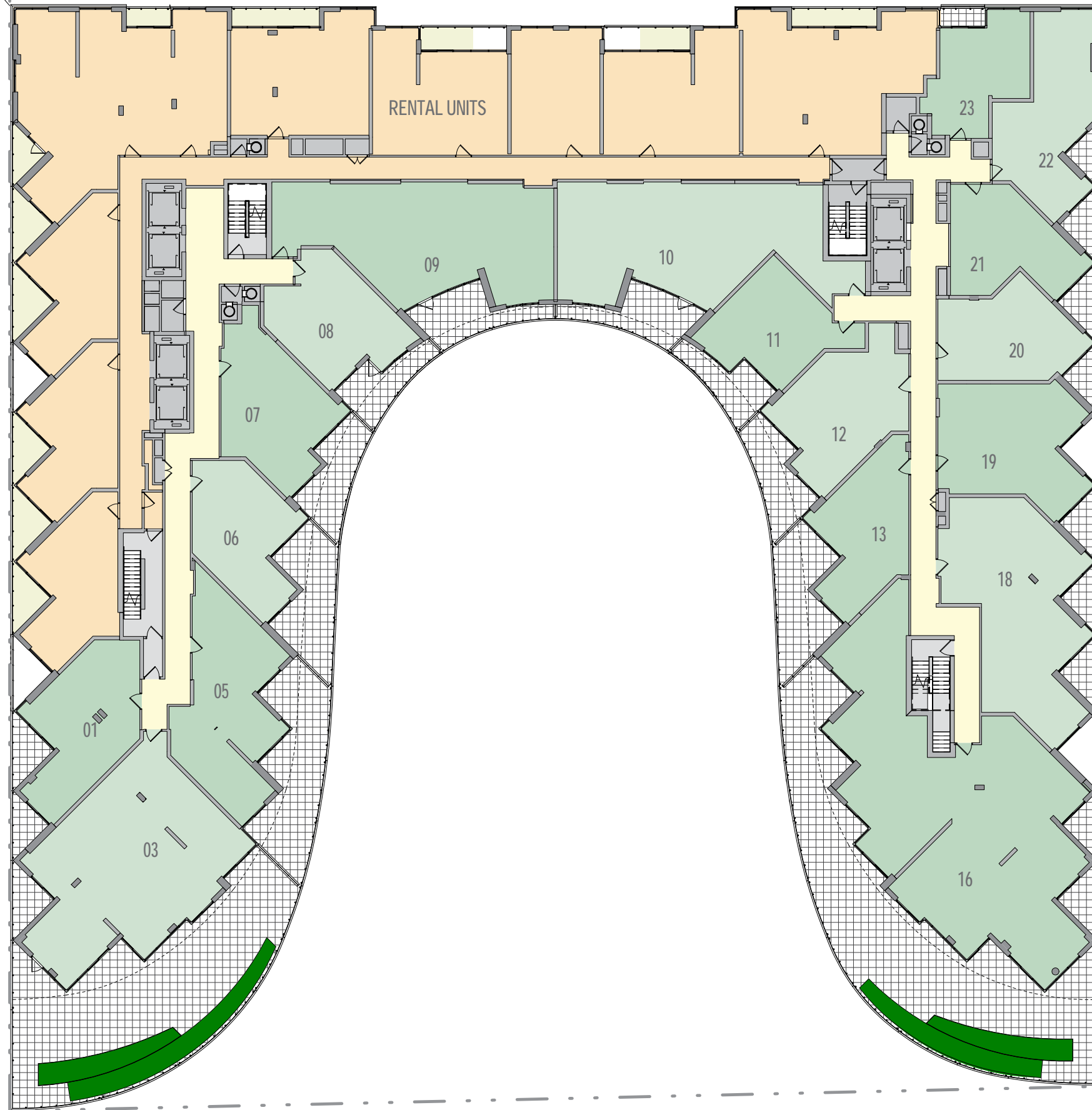


- TOTAL FINISHED AREA (TFA)**
- AFF UNIT 1
 - AFFORDABLE AMENITY
 - COMBO RESIDENTIAL SERVICE
 - CONDO AMENITY
 - CONDO PUBLIC
 - CORE/SHAFT
 - CORRIDOR
 - MECH
 - MECH/SERVICE
 - OPEN
 - PARKING RAMP
 - RETAIL CORE/SHAFT
 - RETAIL MECHANICAL/SERVICE
 - RETAIL UNIT
 - STAIRS



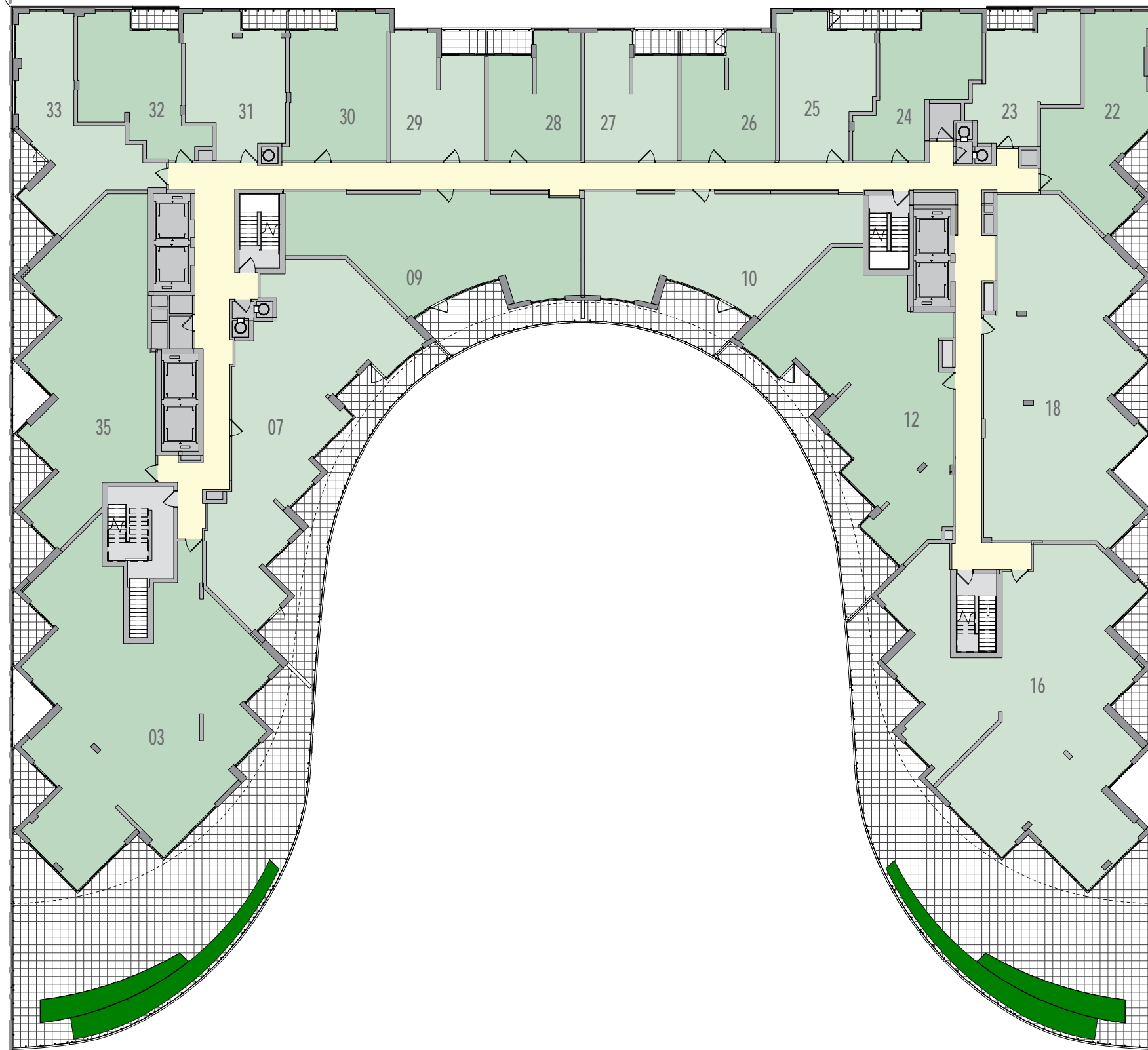
TOTAL FINISHED AREA (TFA)

- AFF UNIT 1
- CONDO AMENITY
- CONDO AMENITY TERRACE
- CONDO PUBLIC
- CONDO UNIT 1
- CONDO UNIT 2
- CORE/SHAFT
- CORRIDOR
- RENTAL TERRACE
- STAIRS
- TERRACE



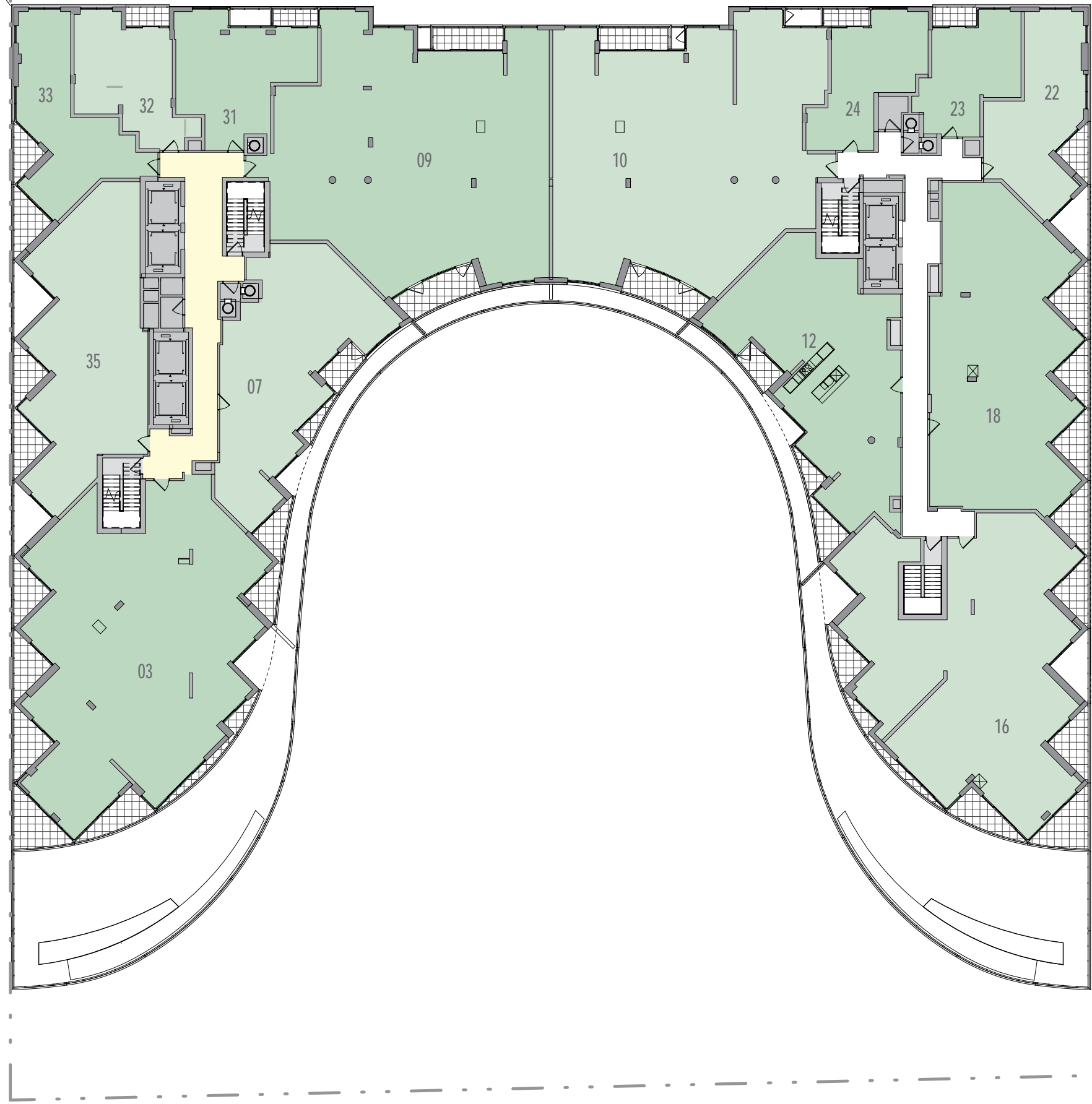
TOTAL FINISHED AREA (TFA)

- AFF UNIT 1
- CONDO UNIT 1
- CONDO UNIT 2
- CORE/SHAFT
- CORRIDOR
- GREEN ROOF
- RENTAL TERRACE
- STAIRS
- TERRACE



TOTAL FINISHED AREA (TFA)

- CONDO UNIT 1
- CONDO UNIT 2
- CORE/SHAFT
- CORRIDOR
- GREEN ROOF
- STAIRS
- TERRACE



TOTAL FINISHED AREA (TFA)

- CONDO UNIT 1
- CONDO UNIT 2
- CORE/SHAFT
- CORRIDOR
- STAIRS
- TERRACE



- TOTAL FINISHED AREA (TFA)**
- AFFORDABLE AMENITY
 - AFFORDABLE TERRACE
 - CONDO UNIT 1
 - CONDO UNIT 2
 - CORE/SHAFT
 - CORRIDOR
 - MECH/SERVICE
 - RENTAL MEP
 - SERVICE TERRACE
 - STAIRS
 - TERRACE

RENTAL AMENITY